

DATE OF MEETING April 25, 2022

AUTHORED BY CALEB HORN, PLANNER, CURRENT PLANNING

**SUBJECT DEVELOPMENT PERMIT APPLICATION NO. DP1234
– 345 NEWCASTLE AVENUE AND 360 STEWART AVENUE**

OVERVIEW

Purpose of Report

To present for Council’s consideration a development permit application for a 17-unit multi-family residential development at 345 Newcastle Avenue and 360 Stewart Avenue.

Recommendation

That Council issue Development Permit No. DP1234 for a multi-family residential development at 345 Newcastle Avenue and 360 Stewart Avenue with the following variances to:

- increase the maximum allowable building height from 14m to 15m; and
- reduce the minimum required parking from 25 parking spaces to 21 parking spaces.

BACKGROUND

A development permit application, DP1234, was received from Masthead Properties Ltd., to permit a multi-family residential development at 345 Newcastle Avenue and 360 Stewart Avenue.

Subject Property and Site Context

<i>Zoning</i>	Medium Density Residential (R8)
<i>Location</i>	The subject properties are located on the west side of Newcastle Avenue and on the east side of Stewart Avenue, between Rosehill Street and Mt. Benson Street.
<i>Total Area</i>	1,619m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and Newcastle + Brechin Neighbourhood Plan Urban Design Framework and Guidelines (the “Newcastle + Brechin Design Guidelines”)

The subject properties are two standard lots that back onto each other in the Newcastle Neighbourhood. The west property, 360 Stewart Avenue, is currently vacant while the east property, 345 Newcastle Avenue, contains a single residential dwelling. The site slopes downhill significantly by 8m from west to east. The ocean is directly to the east of the site on the opposite side of Newcastle Avenue and the Queen Elizabeth II Promenade.

Surrounding land uses include adjacent single residential dwellings, a 2-storey multi-family residential building to the south, a 4-storey multi-family residential building across Stewart Avenue to the west, an 8-storey multi-family residential building to the north, and the Nanaimo Yacht Club Marina across Newcastle Avenue to the northeast. There are nearby commercial services north and south of the site on Stewart Avenue and two blocks west on Terminal Avenue.

DISCUSSION

Proposed Development

The applicant is proposing to construct a multi-family residential development consisting of two buildings with a combined total of 17 dwelling units. The West Building, facing Stewart Avenue, will be four-storeys and the East Building, facing Newcastle Avenue, will be five-storeys. The proposed unit composition is as follows:

Unit Type	West Building	East Building	Total
One-Bedroom	8	1	9
Two-Bedroom	4	1	5
Three-Bedroom	-	3	3
<i>Total</i>	<i>12</i>	<i>5</i>	<i>17</i>

The total proposed gross floor area is 2,139m² and the Floor Area Ratio (FAR) will equal 1.32. The base maximum FAR in the R8 zone is 1.25 and the applicant is proposing to achieve an additional 0.1 FAR through the provision of amenities as outlined in 'Schedule D – Amenity Requirements for Additional Density' of the "City of Nanaimo Zoning Bylaw 2011 No. 4500" (the "Zoning Bylaw") for a total maximum permitted FAR of 1.35. The applicant is proposing to meet Tier 1 in 'Schedule D' of the Zoning Bylaw by providing amenities including the following:

- public art installed onsite;
- provision of a public carshare vehicle and parking space;
- building design to exceed the BC Energy Step Code by one step; and,
- educational signage installed onsite to highlight sustainable transportation alternatives and sustainable energy management practices.

Site Design

Both buildings will be sited to maximize their frontage along the two adjacent streets. Vehicle access will be from Newcastle Avenue with a drive aisle ramp on the south side of the East Building to lead to two parking levels between the buildings. No vehicle access will be provided from Stewart Avenue which is a highway under the jurisdiction of the Provincial Ministry of Transportation and Infrastructure (MoTI). The subject lots will be consolidated as a condition of the development permit, and storm water and sanitary connections to the adjacent property at 370 Stewart Avenue will be secured by a private easement.

A total of 21 parking stalls are proposed and a variance of four stalls is requested. The lower parking level, behind the East Building, will contain ten parking stalls and the upper parking level, behind the West Building, will contain eleven parking stalls. Both parking levels will be partially at-grade and partially covered. Long-term bicycle storage is proposed on the ground level of the West Building and outside the front entry of the East Building. A refuse storage room is proposed in each building.

Walkways to building entries from adjacent streets are proposed, and secondary entries to the buildings are provided from the parking levels. An exterior walkway and stairs are provided along the south side of the West Building, and there is an additional exit route and walkway from the north side of the East Building. A shared outdoor amenity area will be provided on the roof of the lower parking level, with a walkway connection to the upper parking level. A public art feature will be incorporated into the site design facing Newcastle Avenue.

Building Design

The building design incorporates traditional and contemporary elements and massing is well articulated on all elevations. The street-facing façade of both buildings will feature large windows and balconies, and the East Building will take advantage of uninterrupted ocean views for all units. The ground-level unit of each building will have a private outdoor patio. Balconies on the south elevation will maximize solar gain and will be set back from the south property line. Both buildings will have a visible street-facing entry portico. The flat roofs of each building are interrupted by over-height clerestory windows.

Exterior materials include brick cladding on the West Building elevation facing Stewart Avenue, fibre cement shingles on the East Building elevation facing Newcastle Avenue and along the sides of each building, and cement panels on the side elevations of the West Building. Additional brick cladding will highlight the ground level of the East Building. Portions of the buildings, at ground level on the side elevations will include exposed concrete. The entry porticos will include roof overhangs on both buildings with wood-like fibre cement soffits.

The character and massing of the proposed building design meets the intent of the Newcastle + Brechin Design Guidelines.

Landscape Design

Landscaping is proposed around the perimeter of the site and between the two buildings, with low shrubs and decorative trees including shore pine, cypress, dogwood, maple, and magnolias. A private lawn for residents is proposed adjacent to the shared outdoor amenity area located on the roof of the covered parking area behind the East Building.

Interlocking concrete pavers will be used for the pedestrian walkways, and grass cell paving is proposed for portions of the drive aisle on the south side of the East Building. Site lighting will be provided along walkways throughout the site. Natural concrete retaining walls are proposed for portions of the side property lines where there is a grade difference from adjacent properties, with fencing for site security.

Design Advisory Panel

The Design Advisory Panel (DAP), at the meeting held on 2021-JUL-29, accepted DP1234 as presented and provided the following recommendations:

- Consider improving the access to the central lawn area and developing it as a shared amenity space; and,
- Consider providing additional trees and shrubs in the landscape plan.

The applicant subsequently revised the application to include an outdoor amenity space for residents in the centre of the site and submitted a revised landscape plan with a more robust planting plan. In addition to addressing the DAP recommendations, the applicant revised the development proposal by enlarging the West Building (increasing the height from three to four storeys) and seeking additional density by providing 'Schedule D' amenities. The form and character of the proposed building has remained largely the same as what was presented to the DAP.

Proposed Variances

Maximum Building Height

The maximum permitted building height in the R8 zone is 14m. The applicant is proposing a building height of 15m for small portions of each building, a requested variance of 1m. The variance is requested to accommodate the clerestory level of additional windows at the ends of the buildings (see Attachment E). The additional height is not anticipated to impact the perceived height of the buildings and will add visual interest to the buildings' design. The Newcastle Neighbourhood Association indicated support for the building heights as proposed, and identified no concerns with the proposed height variance.

Minimum Required Parking

The minimum required off-street parking for the proposed development is 25 parking spaces. The proposed development includes 21 parking spaces, a requested variance of four spaces (16%).

In accordance with the City's Policy for Consideration of a Parking Variance, the applicant has provided the following rationale in support of the variance request:

- Site constraints related to lot width and grade limit the ability to provide additional parking;
- The proposed parking composition supports a design and massing that is consistent with the Newcastle + Brechin Design Guidelines;
- The subject property is within the 600m buffer of the Downtown Mobility Hub as identified in the Nanaimo Transportation Master Plan;
- The subject property is in close proximity to active transportation routes (the Waterfront Walkway and the E&N Trail) and a future rapid transit route (Terminal Avenue) where alternative modes of transportation are promoted;
- Secure and accessible long-term bicycle storage in excess of the minimum required bicycle parking;
- The Newcastle Neighbourhood Association has reviewed the proposed parking variance and indicated no concerns; and,
- Provision of an onsite carshare vehicle, that has been accepted in principle by Modo, may reduce car ownership for residents.

As per the City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" (the "Parking Bylaw"), a development at this location requires 1.26 stalls per one-bedroom unit, 1.62 stalls per two-bedroom unit, and 1.84 stalls per three-bedroom unit. The proposed parking rate will provide more than one parking space per unit, with a rate of 1.24 spaces per unit.

Staff have reviewed and support both proposed variances.

SUMMARY POINTS

- Development Permit Application No. DP1234 is for a multi-family residential development consisting of two buildings with a combined total of 17 dwelling units.
- The character and massing of the proposed building design meets the intent of the Newcastle + Brechin Design Guidelines.
- The applicant is proposing to meet Tier 1 in ‘Schedule D’ of the Zoning Bylaw by providing amenities such as public art, a carshare vehicle, and building design that will exceed the BC Energy Step Code requirements.
- Variances are requested to increase the maximum building height from 14m to 15m and to reduce the minimum required parking from 25 parking spaces to 21 parking spaces. Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site and Parking Plans
ATTACHMENT E: Building Elevations and Details
ATTACHMENT F: Building Renderings
ATTACHMENT G: Landscape Plan and Details
ATTACHMENT H: Schedule D – Amenity Requirements for Additional Density
ATTACHMENT I: Aerial Photo

Submitted by:

Lainya Rowett
Manager, Current Planning

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services /
Deputy CAO

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 15m.

The City of Nanaimo “Off-Street Parking Regulations Bylaw No. 2018 No. 7266” is varied as follows:

1. *Section 7.1 Multiple-Family Dwelling Parking Table* – to reduce the minimum required number of off-street parking spaces from 25 spaces to 21 spaces.

CONDITIONS OF PERMIT

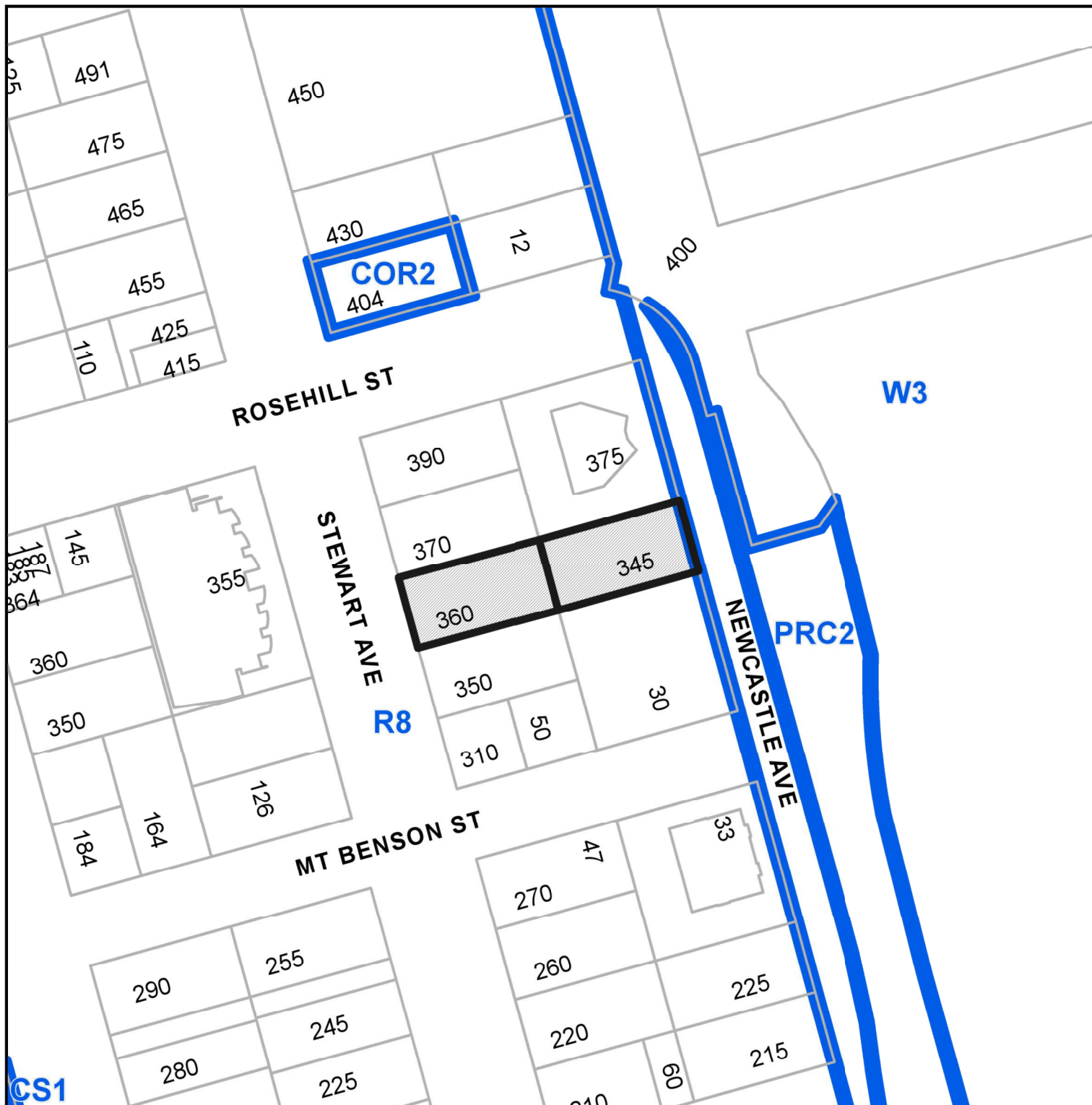
1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by Middleton Architect, dated 2022-MAR-11 and 2022-APR-11 respectively, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Middleton Architect, dated 2021-NOV-19, as shown on Attachment E.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Masthead Properties Ltd., dated 2022-APR-08, as shown on Attachment G.
4. The subject property is developed in accordance with the ‘Schedule D – Amenity Requirements for Additional Density’ prepared by Masthead Properties Ltd., dated 2022-MAR-25, as shown in Attachment H, and is to include the following items:
 - A detailed proposal for a public art piece to the satisfaction of the Director of Development Approvals, submitted prior to Building Permit issuance;
 - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
5. The subject site is consolidated into a single property prior to Building Permit issuance.
6. Stormwater and sanitary sewer connections across the subject property to service the neighbouring lot legally described as Lot 31, Block 4, Newcastle Townsite, Section 1, Nanaimo District, Plan 584 (370 Stewart Avenue) and secured by private easement registered on property title prior to building occupancy, to the satisfaction of the Director of Development Approvals.

ATTACHMENT B CONTEXT MAP



345 NEWCASTLE AVENUE & 360 STEWART AVENUE

ATTACHMENT C LOCATION PLAN



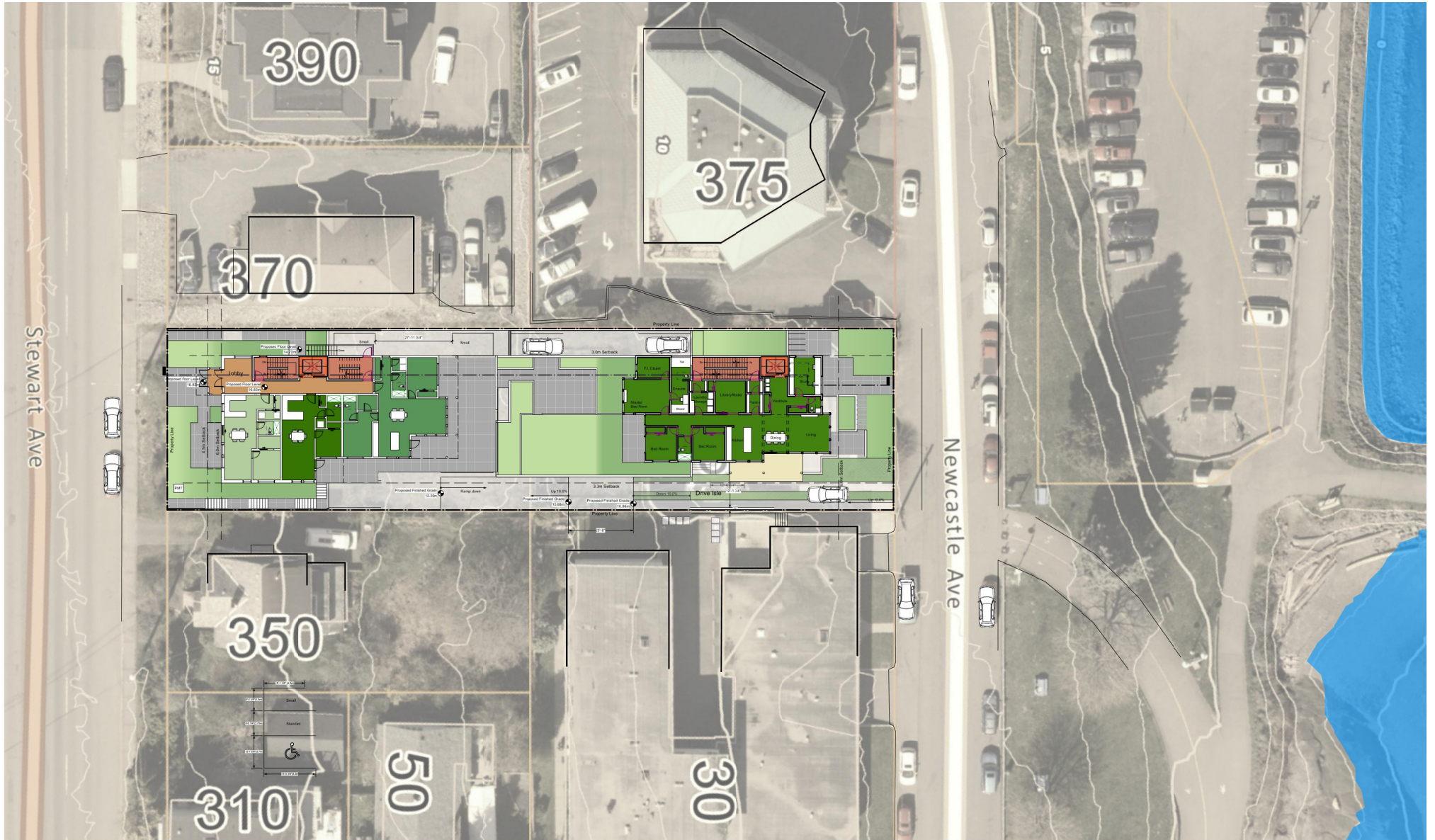
DEVELOPMENT PERMIT APPLICATION NO. DP001234



Subject Property

CIVIC: 345 NEWCASTLE AVENUE & 360 STEWART AVENUE
LEGAL: LOT 17 & 32, BLOCK 4, NEWCASTLE TOWNSITE, SECTION 1,
NANAIMO DISTRICT, PLAN 584

ATTACHMENT D SITE AND PARKING PLANS

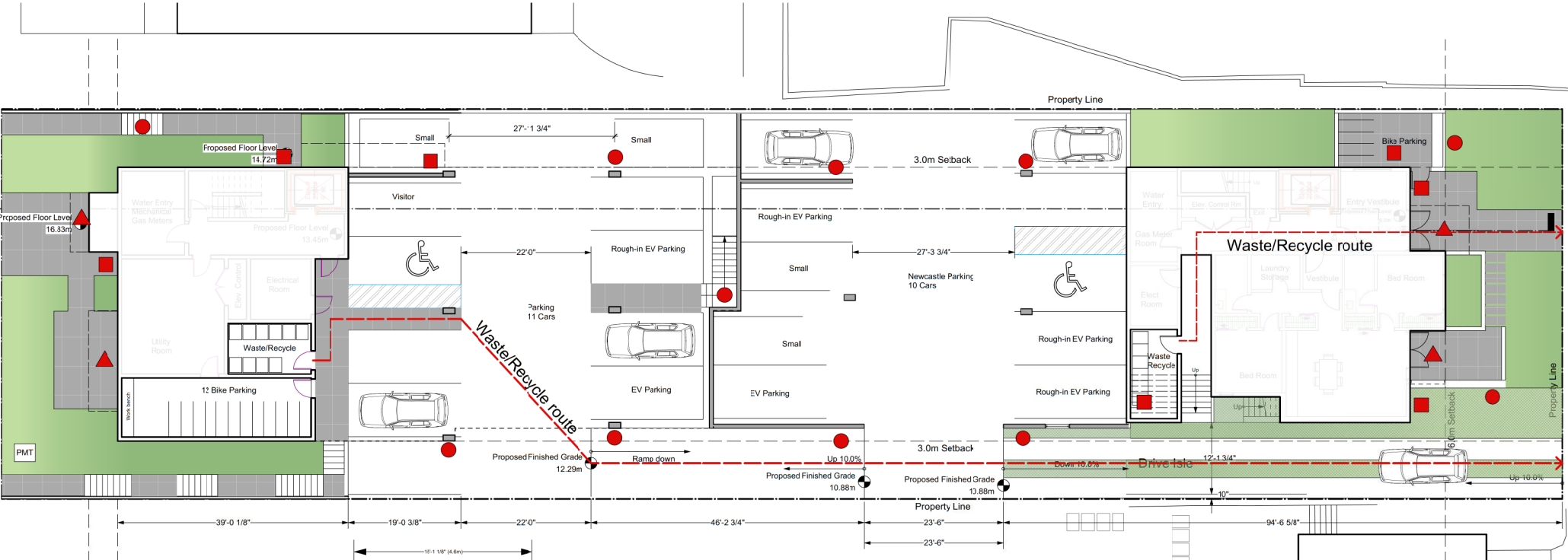


Site Plan
Scale: 1/32" = 1'-0"

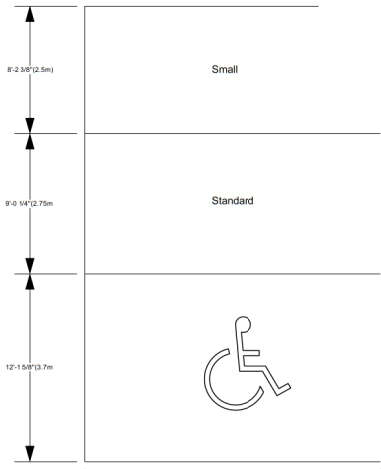
MASTHEAD LIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C.
2022 03 11

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2022-MAR-14



Site Parking
Scale: 1/16" = 1'-0"



Landscape Light key

- Decorative Fixture
- Wall Wash Fixtures
- ▲ Ceiling or Soffit Fixtures



Pad Mount Transformer (PMT)

MASTHEADLIVING

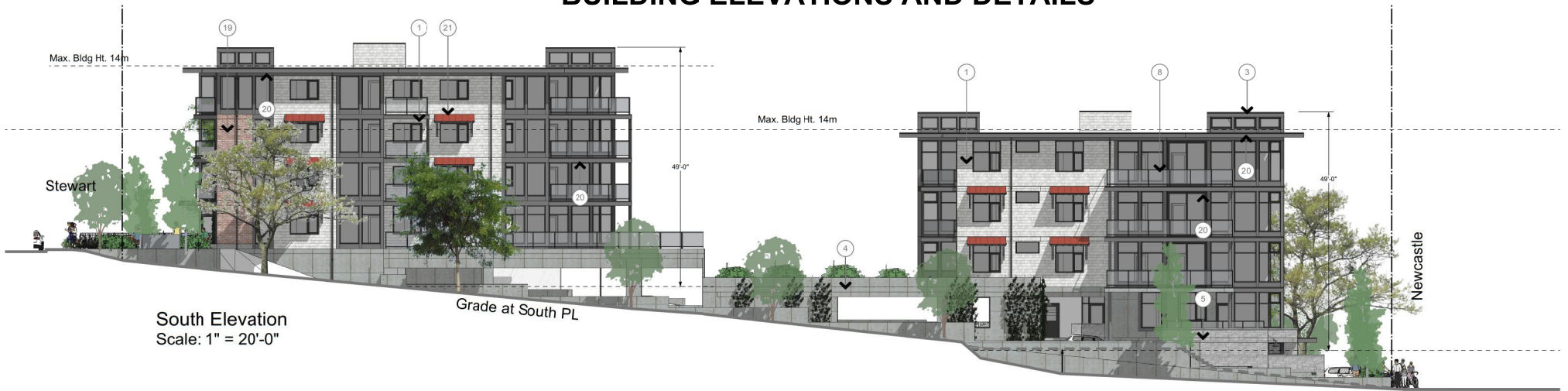
360 Stewart - 345 Newcastle, Nanaimo, B.C.
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2022-APR-11
Current Planning

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Architect

Typical Parking sizes

ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



South Elevation
Scale: 1" = 20'-0"

Material List

- 1 Fiber Cement Shingle (colour - Warm Sun Bleached White)
- 2 Cement Panel - Hardie Panel - Smooth - (colour - Warm White)
- 3 Cement Panel - Hardie Panel - Smooth - (colour - Web Grey - SW 7075)
- 4 Natural Concrete
- 5 Natural Thin Stone
- 6 Window Frame (colour - Cyber Space - SW 7076)
- 7 Door and Fane (colour - Cyber Space - SW 7076)
- 8 Glass Guard with Aluminium Frame
- 9 Flashing 1 (colour Cyber Space - SW 7076)
- 10 Flashing 2
- 11 Painted Metal Guard
- 12 Clear Vertical Grain Fir no. 1 or better - Stained Sikkens Cetol 1(translucent ext. base coat) Ceto 23 Plus (translucent ext. top coat)
- 13 Panel Joints
- 14 Privacy Screen
- 15 Wall Caps - Air Supply or Exhaust
- 16 Metal Rain Water Leaders (colour - Cyber Space - SW 7076)
- 17 Natural Concrete Detail
- 18 Metal Stair with perforated treads
- 19 Brick (Red)
- 20 Soffit (non combustible Fiber cement Cedar mill - wood stain)
- 21 Timber awning with metal roof



Max. Bldg Ht. 14m

Average Grade 10.40m

East Elevation
Scale: 1" = 20'-0"



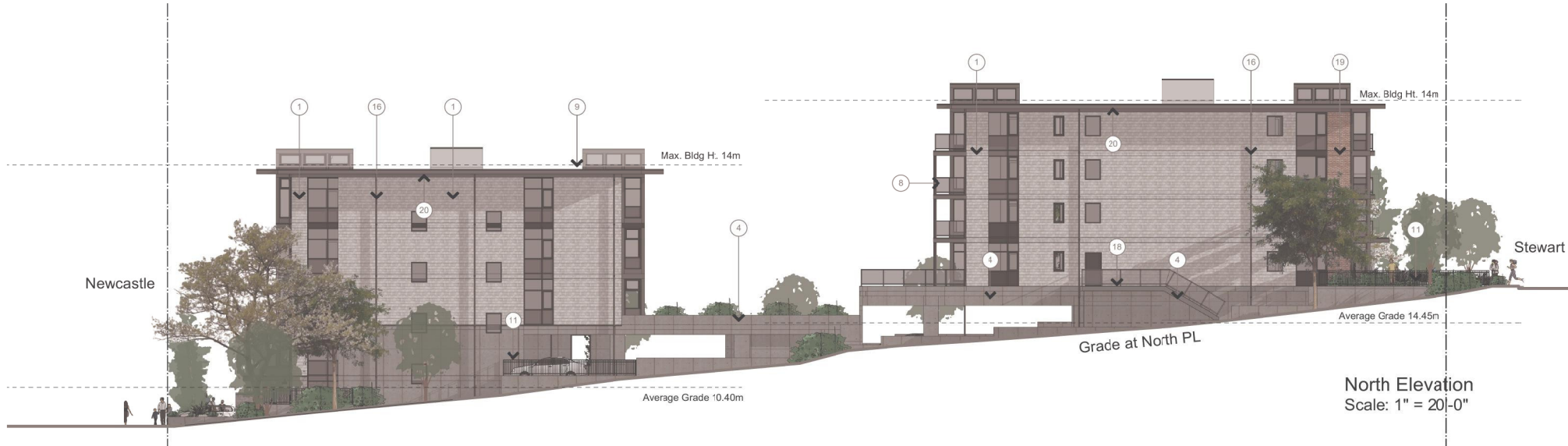
Web Gray SW 7075 Cyber Space SW 7076 Natural Concrete Red Brick Sun Bleached Shingles Natural Thin Stone Dry stack

MASTHEADLIVING

360 Stewart - 345 Newcastle, Nanaimo, B.C.
2021 11 19

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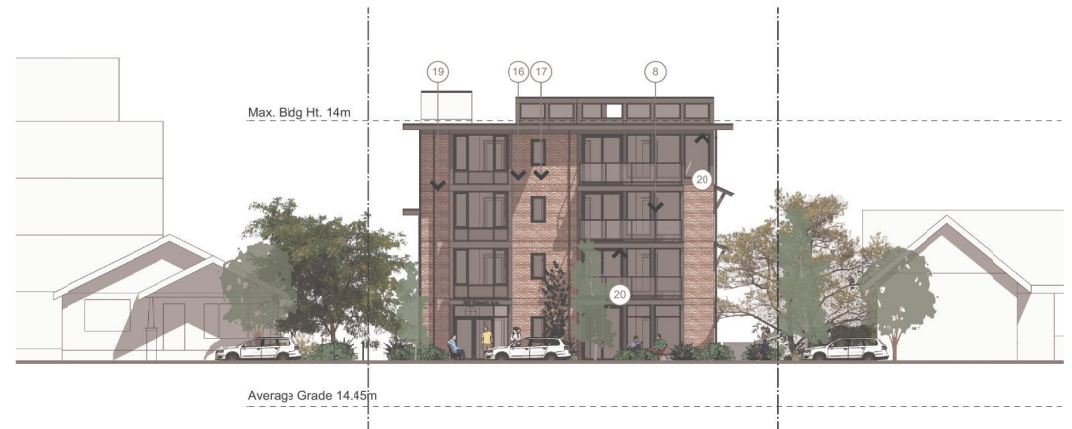
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Architect



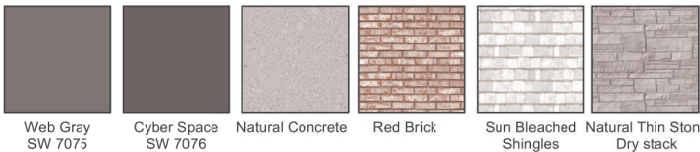
North Elevation
Scale: 1" = 20'-0"

Material List

- 1 Fiber Cement Shingle (colour - Warm Sun Bleached White)
- 2 Cement Panel - Hardie Panel - Smooth - (colour - Warm White)
- 3 Cement Panel - Hardie Panel - Smooth - (colour - Web Grey - SW 7075)
- 4 Natural Concrete
- 5 Natural Thin Stone
- 6 Window Frame (colour - Cyber Space - SW 7076)
- 7 Door and Frame (colour - Cyber Space - SW 7076)
- 8 Glass Guard with Aluminium Frame
- 9 Flashing 1 (colour Cyber Space - SW 7076)
- 10 Flashing 2
- 11 Painted Metal Guard
- 12 Clear Vertical Grain Fir no. 1 or better - Stained Sikkens Cetol 1(translucent ext. base coat) Ceto 23 Plus (translucent ext. top coat)
- 13 Panel Joints
- 14 Privacy Screen
- 15 Wall Caps - Air Supply or Exhaust
- 16 Metal Rain Water Leaders (colour - Cyber Space - SW 7076)
- 17 Natural Concrete Detail
- 18 Metal Stair with perforated treads
- 19 Brick (Red)
- 20 Soffit (non combustible Fiber cement Cedar mill - wood stain)
- 21 Timber awning with metal roof



West Elevation
Scale: 1" = 20'-0"



MASTHEAD LIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C.
2021 11 19

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2022-FEB-13
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ATTACHMENT F BUILDING RENDERINGS



Sketch from Newcastle Ave.

MASTHEADLIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C.
2021 11 19

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Sketch from Newcastle Ave.

MASTHEADLIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C.
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Sketch from Stewart Ave.

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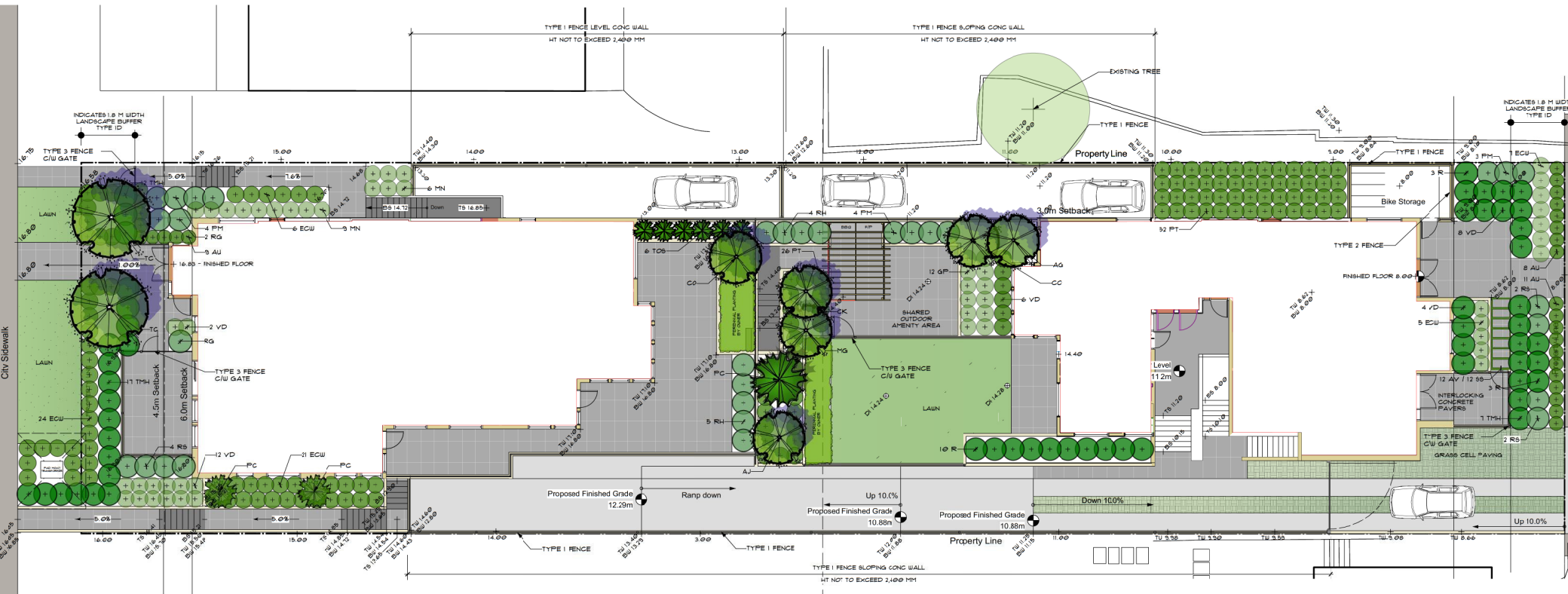
Sketch from Stewart Ave.

MASTHEADLIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C.
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Current Planning

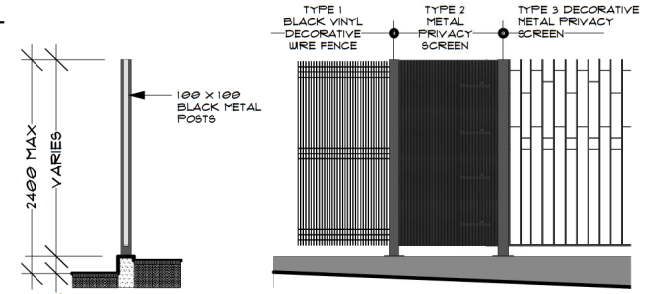
Middleton
Architect

ATTACHMENT G LANDSCAPE PLAN AND DETAILS



KEY	CANDIDATE TREES		
	BOTANICAL NAME	COMMON NAME	SIZE
EVERGREEN TREES			
PC	3 PINUS CONTORTA CONTORTA	SHORE PINE	2M HT.
CO	2 CHAMAECYPARIS OBSTUSA 'HINOKI'	HINOKI CYPRESS	2M HT.
TOS	6 THUJA OCCIDENTALIS SMARAGD	EMERALD CEDAR	2M HT.
DECIDUOUS TREES			
TC	2 TILIA CORDATA	LINDEN	5CM CAL.
CK	1 CORNUS KOUSA	KOUSA DOGWOOD	5CM CAL.
AJ	1 ACER JAPONICUM 'ACONTIFOLIUM'	JAPANESE MAPLE	MULTISTEM
AG	1 ACER GINNALA 'FLAME'	AMUR MAPLE	MULTISTEM
MG	2 MAGNOLIA GRANDIFLORA	MAGNOLIA	MULTISTEM

KEY	CANDIDATE SHRUBS AND GROUNDCOVER		
	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS			
VD	VIBURNUM DAVIDII	VIBURNUM	QTY: 32 SPACING: 750 O.C. SIZE: #2 POT
TMH	TAXUS MEDIA 'HICKSII'		28 600 O.C. #2 POT
RS	RHODODENDRON 'SNOWBIRD'	DECIDUOUS AZALEA	8 750 O.C. #5 POT
RG	RHODODENDRON 'GIBALTAR'	DECIDUOUS AZALEA	3 750 O.C. #5 POT
RH	RHODODENDRON 'HOTI'	HOTEI (YELLOW) RHODO	3 750 O.C. #5 POT
R	ROSA 'GENTLE HERMIONE'	ENGLISH ROSE	16 750 O.C. #2 POT
ECW	ERICA CARNEA 'WINTERSONNE'	WINTERSONNE HEATHER	7 600 O.C. #2 POT
GP	GAULTHERIA PROCUMBENS	WINTERGREEN	600 O.C. #2 POT
PM	FINUS MUGO	MUGO PINE	17 750 O.C. #2 POT
MN	MAHONIA NERVOSA	DWARF OREGON GRAPE	3 600 O.C. #2 POT
GROUNDCOVER			
PMF	POLYSTICHUM MUNITUM	SWORD FERN	QTY: 600 O.C. SIZE: 4" POT
AU	ARCTOSTAPHYLOS UVA URSI	KINNIKINNICK	28 450 O.C. 4" POT
PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	18 450 O.C. 4" POT
SP	SEDUM PALLIDUM	STONECROP	24 300 O.C. 4" POT
AV	ARENARIA VERNA	SCOTCH MOSS	12 300 O.C. 4" POT
SS	SAGARIA SUBULATA	IRISH MOSS	12 300 O.C. 4" POT
FC	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	12 450 O.C. 4" POT
PT	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	12 450 O.C. 4" POT



Privacy Screens - Detail
Scale: 1/4" = 1'-0"

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ATTACHMENT H

SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

March 25, 2022

Current Planning – Development Approvals

City of Nanaimo
 411 Dunsmuir Street
 Nanaimo, V9R 5J6

For the Attention of: Caleb Horn, Planner

Dear Caleb:

Re: DP001234 – Tier 1 Density Bonus – Schedule D: Amenity Requirements for Additional Density

The following description of proposed amenities is provided in support of the Tier 1 Density Bonus as described in Bylaw 4500.182; 2021-DEC-06, Schedule D. Only those amenities that the proposed project can score at will be discussed in this report.

Category 1: Site Selection (10 points required)

Amenity Requirement	Discussion	Scored Points
B.) The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	The proposed infill is located at 345 Newcastle Avenue and 360 Stewart Avenue both frontages are existing fully serviced City streets. Storm and sanitary drainage will tie into existing City drains.	3 points
C.) The proposed development is located within 200m of a park or trail network.	The proposed development is located directly across the street from Queen Elizabeth II Park and the Nanaimo Waterfront Walkway.	1 point
D.) The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC (Parks, Recreation and Culture) Zoned property; and / or • a CS-1 (Community Service One) zoned property. 	Refer to Appendix A for Locations Retail Store – MB Mart Gourmet Grocery – 572 Stewart Avenue Daycare Facility – Kidz Korner Small Fries – 679 Terminal Avenue RDN Bus Stop – Stewart Avenue (Route 20) PRC Zoning – Queen Elizabeth II Park CS1 Zoning – 261 Vancouver Avenue	1 point 1 point 1 point 1 point 1 point
E.) The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development:	The development will incorporate artwork from well-known local artist Paul Jorgenson. Paul’s painting/imagery will be printed onto a weatherproof panel approximately 4’ x 8’ and incorporated into the East Elevation of the proposed bicycle locker. (Refer to Appendix B for proposed location).	1 point
	Total Points	10 Points

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Category 3: Parking and Sustainable Transportation (10 points required)

Amenity Requirement	Discussion	Scored Points
B.) At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	The proposed development incorporates a parking space for the exclusive use of a vehicle belonging to Modo Carsharing. (Refer to Appendix B for proposed location).	1 point
C.) The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	Working with Modo, a recognized car share provider, the developer will provide a car share as part of the proposed development. The developer's contribution to the car-sharing arrangement, including a cash payment for vehicle acquisition has been set out by Modo in the attached letter Appendix C - Carshare arrangements at 345 Newcastle Avenue.	4 points
E.) A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	The site design for the proposed development incorporates a substantial deck between the two buildings which covers more than 80% of the parking area, providing an extensive individual and shared courtyard amenity. (Refer to Appendix B for general area).	4 points
I.) The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	Signage describing the sustainable transportation alternatives that have been incorporated into the proposed development is to be provided adjacent to the Modo car share facility. In this location the signage is available for both residents and car share clients. (Refer to Appendix B for proposed location).	1 point
	Total Points	10 Points

Category 5: Energy Management (11 points required)

Amenity Requirement	Discussion	Scored Points
A.) The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.	The developer has retained Rockypoint Engineering Consultant as our mechanical engineer for this project. Aaron Mullaley has been consulted regarding mechanical design and energy modeling and will advise on design development to ensure that the proposed development will exceed the requirement specified in the Building Bylaw by one step. An energy modeling report will be submitted to the City at BP application.	10 points
D.) The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	The developer will provide permanent signage on site which introduces and describes the sustainable energy management practices used onsite. (Refer to Appendix B for proposed signage location).	1 point
	Total Points	11 Points

Closure

In closing, we are pleased to provide the forgoing to illustrate how the proposed development at 345 Newcastle/ 360 Stewart will provide amenity requirements in support of a Tier 1 Density Bonus.

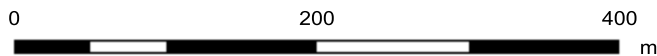
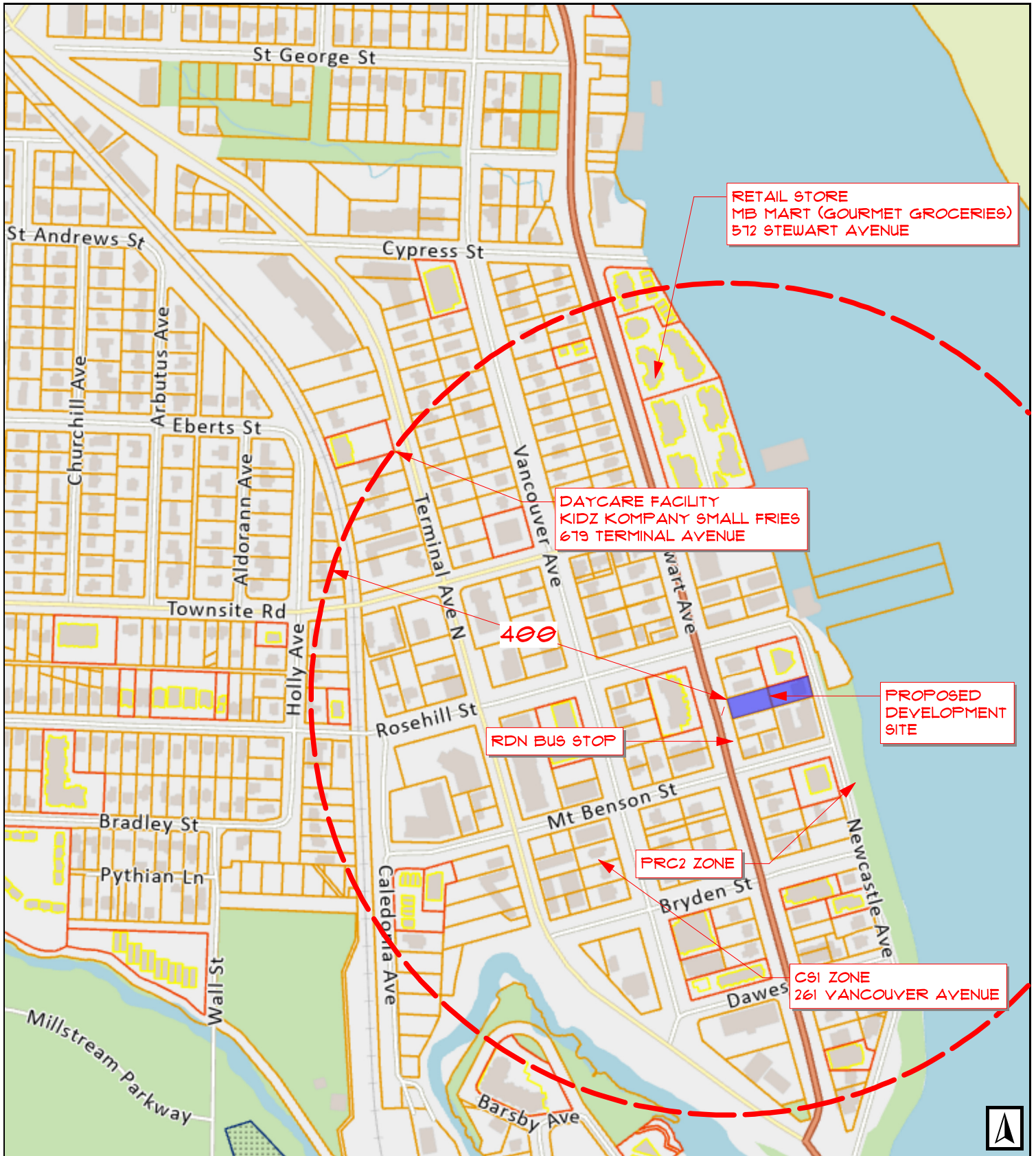
Sincerely,

Masthead Properties



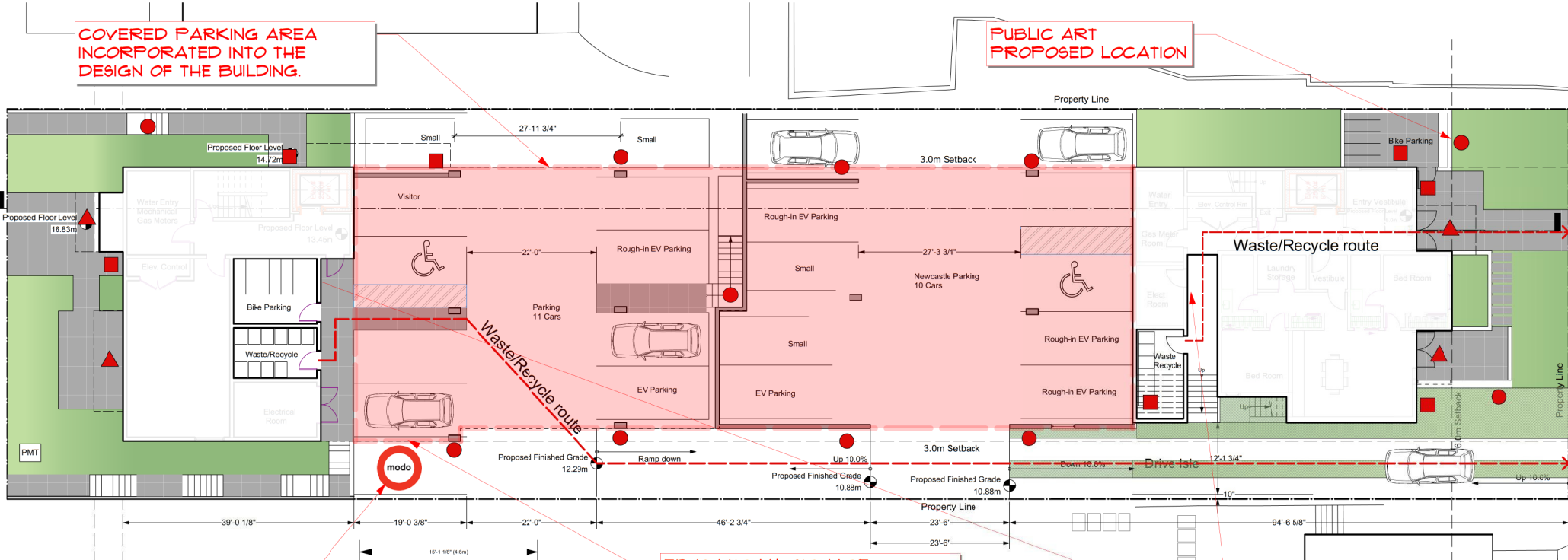
Doug Backhouse

CC: Nathan Middleton Architect



Notes

The City of Nanaimo does not warrant or guarantee the accuracy or completeness of the Information. The map and all data are available for informational purposes only and should not be considered authoritative for construction, engineering, navigational, legal or other site-specific uses. All data is provided without warranty of any kind and users assume the entire risk as to quality and performance of the data. The City of Nanaimo accepts no liability for any damages or misrepresentation caused by inaccuracies in the data.



Site Parking
Scale: 1/16" = 1'-0"

CAR SHARE DESIGNATED PARKING

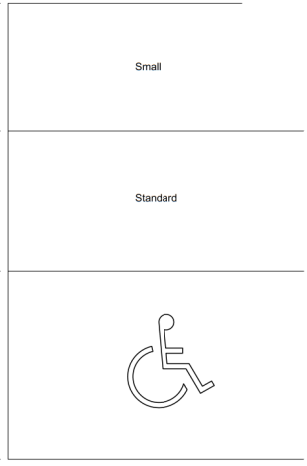


Pad Mount Transformer (PMT)

EDUCATIONAL SIGNAGE REGARDING SUSTAINABLE TRANSPORTATION ALTERNATIVES

EDUCATIONAL SIGNAGE REGARDING SUSTAINABLE ENERGY MANAGEMENT PRACTICES

- Decorative Fixture
- Wall Wash Fixtures
- ▲ Ceiling or Soffit Fixtures



Typical Parking sizes

MASTHEADLIVING 360 Stewart - 345 Newcastle, Nanaimo, B.C. 2022 03 14
DP001234 Tier 1 Density Bonus
Schedule D: Amenity Requirements for Additional Density -- Appendix B

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DP1234
2022-MAR-29
 CULTURAL PLANNING
Middleton
 Architect

DP001234 - Tier 1 Density Bonus
Schedule D: Amenity Requirements for Additional Density
Appendix C



INFORMATIONAL AND NON- BINDING

March 22, 2022

Masthead Properties
P. O. Box 400 Stn A
Nanaimo, V9R5L3

Attention: Doug Backhouse

Dear Doug,

Re: Carshare arrangements at 345 Newcastle Avenue in Nanaimo

This letter confirms that Modo sees the location of the proposed residential development at 345 Newcastle Avenue in Nanaimo as having good potential for carsharing. Under the following arrangements, Modo would be willing to enter into an agreement with Masthead Properties (the "Developer") to provide carsharing services:

1. Developer will arrange, at no cost to Modo, the provision of one (1) designated parking stall at the proposed development, equipped with a Level 2 electric vehicle charging station, and accessible to all Modo members on a 24/7/365 basis;
2. Modo will review the final parking drawings and visit the development site to ensure that the stall to be designated for Modo comply with Modo Construction Standards For Shared Vehicle Parking Space (enclosed);
3. Assuming occupancy of the proposed development in 2024, the Developer will provide Modo with a one-time financial contribution of \$30,000.00 plus GST (the "Project Fee") to be used by Modo toward the ownership costs of one (1) new shared vehicle with electric motorization to be located in the parking stall designated for carsharing;
4. Modo will provide Developer with a multi-user membership in Modo with a public value equivalent to the Project Fee, valid for the lifetime of the proposed development and allowing up to a minimum of 63 occupants of the proposed development to simultaneously benefit from Modo membership privileges and lowest usage rates without the need to themselves pay a \$500 membership fee; and

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2022-MAR-29
Current Planning

200-470 Granville Street
2031 Store Street

Vancouver, BC V6C 1V5
Victoria, BC V8T 5L9

604.685.1393
250.995.0265

info@modo.coop
www.modo.coop

5. Modo will provide a promotional incentive worth \$100 of driving credits to each resident joining Modo for the first time.

Modo is interested in working with Masthead Properties and be part of the development at 345 Newcastle Avenue whose occupants and nearby residents may no longer need to own a car of their own for their personal and business needs.

Thank you for your support of carsharing.

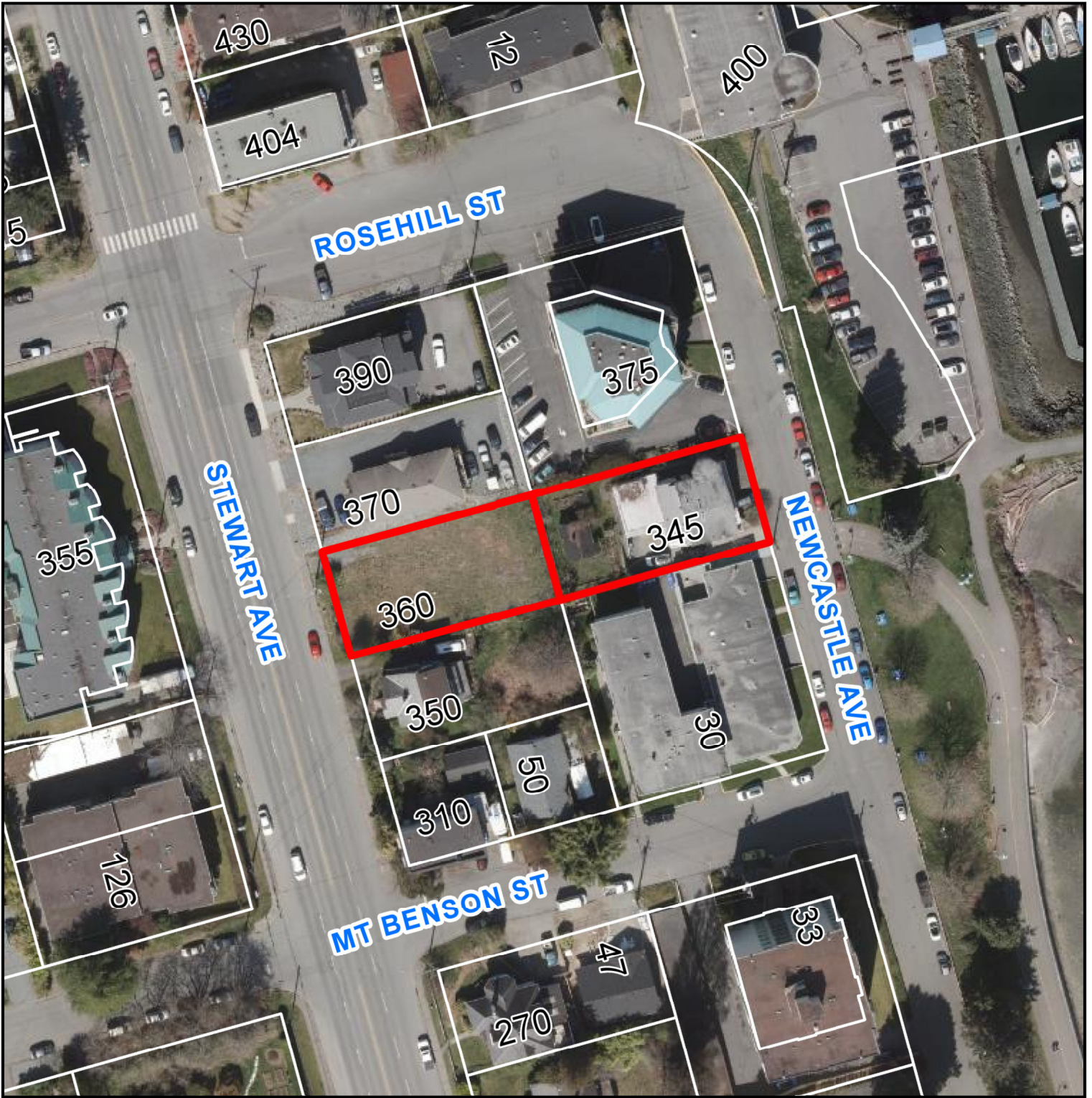
Regards,

A handwritten signature in black ink, appearing to read 'Sylvain Cellaire', with a stylized flourish at the end.


Sylvain Cellaire
Director of Business Development

Enclosed: as referenced above.

ATTACHMENT I
AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001234

 345 NEWCASTLE AVENUE & 360 STEWART AVENUE